

## Development Management Report

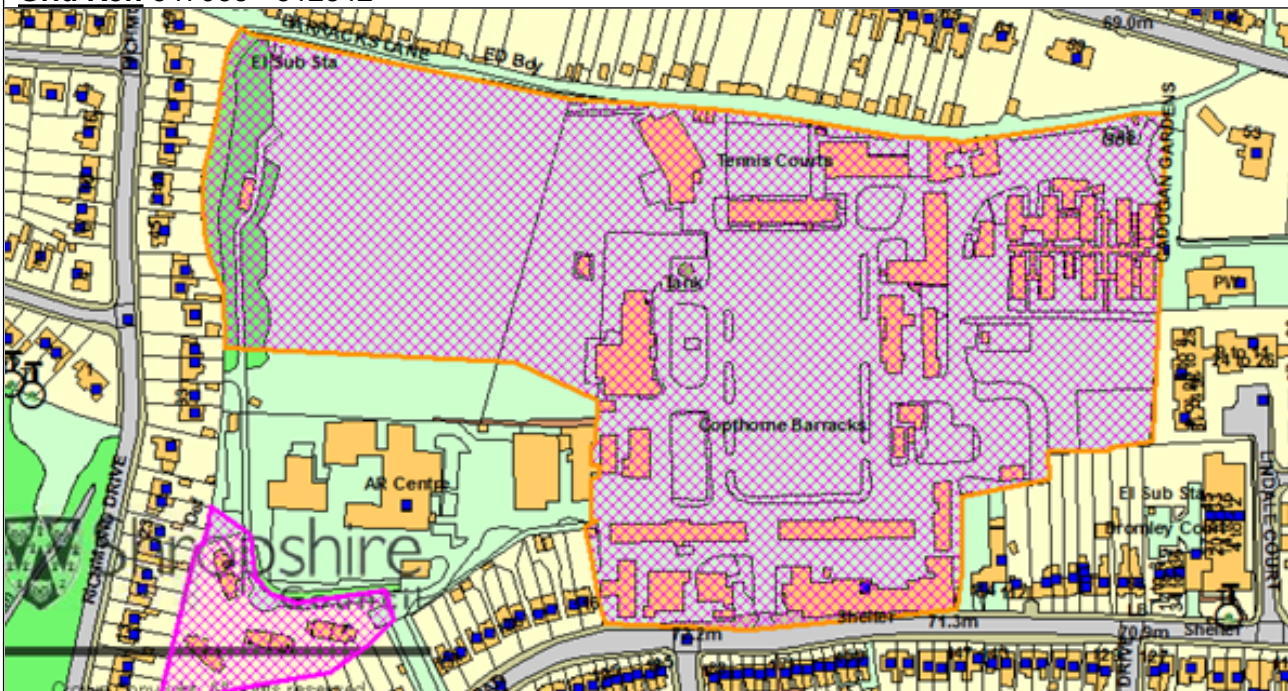
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### Summary of Application

<b><u>Application Number:</u></b> 18/03637/REM	<b><u>Parish:</u></b>	Shrewsbury Town Council
<b><u>Proposal:</u></b> Approval of reserved matters (appearance, layout, scale and landscaping) pursuant to the Outline Permission 16/04228/OUT for the erection of 216 no. dwellings (conditions 15 and 17 amended and 25 removed by 18/01826/AMP) (Amended description)		
<b><u>Site Address:</u></b> Former Copthorne Barracks Copthorne Road Shrewsbury Shropshire SY3 8LZ		
<b><u>Applicant:</u></b> Bellway Homes (West Midlands)		
<b><u>Case Officer:</u></b> Jane Raymond	<b><u>email:</u></b> <a href="mailto:planningdmc@shropshire.gov.uk">planningdmc@shropshire.gov.uk</a>	

**Grid Ref:** 347955 - 312842



**Recommendation: Grant Permission subject to the conditions set out in Appendix 1.****REPORT****1.0 THE PROPOSAL**

1.1 This application relates to the approval of reserved matters (appearance, layout, scale and landscaping) pursuant to Outline Permission 16/04228/OUT for the provision of 216 dwellings including 43 affordable homes. The proposal includes the demolition of all buildings except for 'The Keep' which is to be converted to 9 apartments.

1.2 The proposal also includes the submission of details required to be submitted by the following conditions (7- 18 inclusive) that were attached to the outline consent and as amended by 18/01826/AMP:

*7. The layout submitted at the Reserved Matters stage shall include further pedestrian/cycle links to Barracks Lane in addition to the controlled emergency link and taking into account any site level differences and visibility requirements.  
Reason: In the interests of Highway safety*

*8. The layout submitted at the Reserved Matters stage shall include no permanent through route for vehicular traffic between Copthorne Road and The Mount other than for emergency vehicles. Any Reserved Matters application for the site layout shall include details of the means of control of vehicular traffic whilst being able to accommodate emergency vehicles as necessary.  
Reason: In the interests of Highway safety as the proposed vehicular access off The Mount is not considered suitable to serve the whole of the development site hereby approved.*

*9. As part of the first submission of Reserved Matters details of the layout, design and construction of any new roads, footways and accesses together with details of the disposal of highway surface water shall be submitted to, and approved in writing by, the Local Planning Authority. The approved details shall be fully implemented before the dwellings are occupied.  
Reason: To ensure a satisfactory means of access to the site.*

*10. As part of the first submission of Reserved Matters details of a scheme of foul and surface water drainage to include Information on the proposed maintenance regime for any sustainable drainage system proposed, including details of who will take responsibility, shall be submitted to and approved in writing by the Local Planning Authority. The approved scheme shall be fully implemented before the development is first occupied.  
Reason: To ensure satisfactory drainage of the site and to avoid flooding, and to ensure that the drainage system remains in good working order throughout its lifetime.*

*11. As part of the first application for reserved matters the submitted site layout plan shall be supported by an updated Arboricultural Impact Assessment, Arboricultural Method Statement and Tree Protection Plan assessing any impacts*

*that arise and demonstrating that any retained trees can be protected. Thereafter the development shall be carried out strictly in accordance with the recommendations within these reports.*

*Reason: To safeguard the amenities of the local area and to protect the natural features that contribute towards this and that are important to the appearance of the development.*

*12. The first submission of reserved matters shall include a landscaping plan. The submitted plan shall include:*

- a) Planting plans, creation of wildlife habitats and features and ecological enhancements (e.g. hibernacula, integrated bat and bird boxes, hedgehog-friendly gravel boards and amphibian-friendly gully pots);*
- b) Written specifications (including cultivation and other operations associated with plant, grass and wildlife habitat establishment);*
- c) Schedules of plants, noting species (including scientific names), planting sizes and proposed numbers/densities where appropriate;*
- d) Native species used are to be of local provenance (Shropshire or surrounding counties);*
- e) Details of trees and hedgerows to be retained and measures to protect these from damage during and after construction works;*
- f) Implementation timetables.*

*The plan shall be carried out as approved, unless otherwise approved in writing by the Local Planning Authority.*

*Reason: To ensure the provision of amenity and biodiversity afforded by appropriate landscape design.*

*13. The first submission of reserved matters shall include a habitat management plan. The submitted plan shall include:*

- a) Description and evaluation of the features to be managed;*
- b) Ecological trends and constraints on site that may influence management;*
- c) Aims and objectives of management;*
- d) Appropriate management options for achieving aims and objectives;*
- e) Prescriptions for management actions;*
- f) Preparation of a works schedule (including an annual work plan and the means by which the plan will be rolled forward annually);*
- g) Personnel responsible for implementation of the plan;*
- h) Detailed monitoring scheme with defined indicators to be used to demonstrate achievement of the appropriate habitat quality;*
- i) Possible remedial/contingency measures triggered by monitoring;*
- j) The financial and legal means through which the plan will be implemented.*

*The plan shall be carried out as approved, unless otherwise approved in writing by the Local Planning Authority.*

*Reason: To protect and enhance features of recognised nature conservation importance, in accordance with MD12, CS17 and section 118 of the NPPF.*

*14. The first submission of reserved matters shall include an update phase 1 and where appropriate phase 2 ecological surveys, an assessment of impacts from the development, and a detailed Ecological Mitigation and Enhancement Strategy and Risk Avoidance method statements submitted to the local planning authority. The updated Ecological Mitigation and Enhancement Strategy, recommendations*

*and Risk Avoidance method statements will be implemented as approved in writing by the local planning authority unless changes are required by Natural England in order to obtain a European Protected Species Mitigation Licence. Notification of any changes required by Natural England, including a copy of the licence, must be submitted to the planning authority prior to development commencing.*

*Reason: To ensure the protection and enhancement of biodiversity and protected species, including Bats a European Protected Species.*

15. *The first submission of reserved matters shall include details for the provision of bat roost features such as bat boxes, bat lofts and bat tubes with the type, number and location indicated on a site plan. The bat roost features shall be erected as shown on the approved site plan prior to first occupation of the relevant part of the development and shall be maintained for the lifetime of the development.*  
*Reason: To ensure the provision of roosting opportunities for bats, in accordance with MD12, CS17 and section 118 of the NPPF.*

16. *The first submission of reserved matters shall include a lighting plan.*

*The plan shall:*

a) *identify those areas/features on site that are particularly sensitive for bats, where lighting is likely to cause disturbance in or around their breeding sites and resting places or along important routes used to access key areas of their territory, for example for foraging; and*

b) *show how and where external lighting shall be installed ( through provision of appropriate lighting contour plans and technical specifications) so that it can be clearly demonstrated that areas to be lit will not disturb or prevent the above species using their territory or having access to their breeding sites and resting places.*

*All external lighting shall be installed strictly in accordance with the specifications and locations set out on the plan, and thereafter retained for the lifetime of the development. Under no circumstances should any other external lighting be installed without prior consent from the Local Planning Authority. The submitted scheme shall be designed to take into account the advice on lighting set out in the Bat Conservation Trust's Artificial lighting and wildlife: Interim Guidance: Recommendations to help minimise the impact artificial lighting (2014).*

*Reason: To minimise disturbance to bats, which are European Protected Species.*

17. *The first submission of reserved matters shall include details for the provision of bird boxes and artificial nests, with the number type and location indicated on a site plan. The bird boxes and artificial nests shall be erected as shown on the approved site plan prior to first occupation of the relevant part of the development and shall be maintained for the lifetime of the development.*

*Reason: To ensure the provision of nesting opportunities for wild birds, in accordance with MD12, CS17 and section 118 of the NPPF.*

18. *The first submission of reserved matters shall include details of interpretation boards and/or other appropriate commemorations (to be permanently maintained and retained) which explain the history and the importance of the site.*

*Reason: To ensure that recognition of the history and importance of the site is secured for future generations.*

## 2.0 SITE LOCATION/DESCRIPTION

- 2.1 The application site is the former Copthorne Barracks which includes land and a variety of buildings previously used by the MOD. It includes a range of military buildings, living accommodation and sports and welfare buildings, parade ground and playing field. The site is in two parts; the larger main site is accessed via the main entrance off Copthorne Road (with a secondary access off The Mount/Barracks Lane junction) and a small triangular shaped piece of land in the south west corner occupied by what were originally 8 semi-detached family houses that were last used as single man accommodation. This part of the site is accessed via a private drive off Copthorne Road that also serves the TA site.
- 2.2 The site is situated within a residential area in an urban area to the west of Shrewsbury and within walking distance of the Town Centre. Copthorne Road forms the boundary of the site to the South and Barracks Lane to the North. To the East and West are residential properties. Land and buildings occupied by the TA separates the main site from the small triangular site in the south west.

## 3.0 REASON FOR COMMITTEE DETERMINATION OF APPLICATION

- 3.1 When the outline application was considered at Committee in August 2017 members resolved that planning permission be granted as per the Officer's recommendation subject to:
- ② The conditions as set out in Appendix 1;
  - ② A S106 to secure affordable housing, the funding for the provision of a controlled pedestrian crossing on Copthorne Road, a financial primary and secondary education contribution, a financial contribution to be used for improvements to Frankwell County Ground for compensation for the loss of the playing field on site and a financial contribution for use at nearby recreational grounds to compensate for a reduced level of public open space on site; and
  - ② The Reserved Matters Application to be considered by the Central Planning Committee.

## 4.0 Community Representations

### 4.1 - Consultee Comments

- 4.1.1 **SC Parks and Recreation:** (4 Dec 2018) Officers are satisfied that the Public Open Space provision has been met.
- 4.1.2 **SC Trees:** (6 Dec 2018) I have reviewed the revised layout and am satisfied that it addresses the concerns raised in previous comments in terms of tree retention, the relationship between the retained trees and the proposed dwellings and the provision of new tree planting. The submitted landscaping scheme provides for robust and sustainable planting across the site and will satisfactorily mitigate the impact of tree loss associated with the development and provide a high quality sustainable urban forestry resource in the long term. No objection is raised to the application and it is recommended that a tree protection condition should be

attached to any grant of planning permission.

4.1.3 **SC Ecology:** (7 Dec 2018) I have read the above application and the supporting documents including the:

- Updated Ecology report prepared by FPCR (July 2018)
- Habitat Management Plan by FPCR (6th August 2018)
- Letter reference 8382/RG prepared by FPCR (2nd November 2018)
- Construction & Environmental Management Plan prepared by FPCR (8th November 2018)

An updated layout/landscape scheme has been provided by the applicant. SC Tree team have confirmed that they are satisfied that trees can be retained as proposed. I have no further comments to make on this plan.

The updated letter from FPCR (2nd November 2018) should be updated to the planning portal. This confirms that the applicant will provide 20 bat roost features, and the retained keep will accommodate 20 swift boxes. In addition there will be a further 20 bird boxes provided throughout the site.

To confirm the information submitted i.e. the Construction & Environmental Management Plan prepared by FPCR dated November 2018, with the addition on the letter report prepared by FPCR (November 2018), is sufficient to discharge the CEMP condition (condition 21).

Regarding condition 20 (EPS licence), I am satisfied that works on site can commence, with the exception of building B7 and B15 which will require a NE licence prior to works effecting this buildings – this is all detailed within the CEMP.

Providing works are carried out as proposed I have no further comments to make on this proposal.

4.1.4 **SC Conservation:** (29 Nov 2018) I would refer you to our earlier comments on this application for background.

Regarding the northerly boundary of the site, I understand that a revised drainage plan has been submitted which will allow the existing trees along Barracks Lane to be retained which addresses our earlier remarks on this element of the scheme. I also understand that the existing extent of brick boundary walling along Barracks Lane will be retained, extended and repaired which also addresses our earlier concerns on this boundary treatment.

Modifications to the layout of the dwelling and garage at the north-east corner of the site have addressed our concerns regarding impact on the listed Cadogan House and it is noted that a brick boundary wall will be constructed along this boundary.

Details of the proposed Interpretation Board have now been submitted with a plan indicating its proposed siting within the dedicated open space provision within the site ' this is satisfactory subject to the wording/details of the history indicated being fully checked for accuracy by the appropriate personnel.

Turning to the Copthorne Road frontage of the site, while the main scale, height and massing of the 'Elton' buildings have been retained the design has been modified to allow for better articulation and detailing with the introduction of a projecting central gabled bay and generally this does appear to improve the design of that building within the street scene.

The Boundary Treatment plan indicates that the south east front boundary treatment to the new dwellings along Copthorne Road will consist of a low brick wall with brick piers and wrought iron garden gates which is considered satisfactory.

A Materials Plan has been provided outlining the facing bricks and render colour proposed as well as two roof tile colours; samples at least photographically should be provided for approval by way of condition for completeness. Window and door details should be provided for at least the dwellings around the perimeter of the site and we would be expecting windows to be high quality flush fitting upvc windows where window elevations and sections should be provided for agreement by way of condition. It is also suggested that at least the perimeter dwellings have the higher quality Brett Martin type cast look upvc guttering to improve the appearance of the dwellings in the street scenes.

With respect to the conversion of The Keep, I am still not clear whether existing windows are to be retained/repaired/draft proofed as noted in our earlier comments. As noted earlier there should be restrictions placed on external equipment for example the location of satellite dishes. Conditions requiring further details relevant to The Keep's conversion scheme will be required including window and door details where relevant.

- 4.1.5 **SC Archaeology:** (4 Dec 2018) We have no comments to make on this application with respect to archaeological matters.
- 4.1.6 **SC Highways:** (10 Dec 2018) Raises no objection to the granting of consent based on the layout shown on Drawing 18037-01 Rev V.

Shropshire Council from a Highways perspective are satisfied that the proposed layout is acceptable, subject to further details being submitted as part of the Section 38 technical approval perspective. Our preference from a Highways perspective is that block paving is no longer installed, therefore we will request at technical approval, that the construction of the plateaus is constructed in a suitable material, it might be that the applicant would want to make reference to this in any drawings that form part of the permission.

#### Condition 7

It is considered that the requirement of Condition 7 are met. As previously discussed with the applicant, it would be our preference to provide additional links on to Barrack Lane to improve connectivity, however following discussions with the applicant over the level difference within the site, it is accepted that the proposed emergency link is acceptable and adequate for the purpose of Condition 7.

Condition 8

It is considered that the proposed layout is acceptable for the purpose of Condition 8.

Condition 9

In terms of construction details, it is considered sufficient detail has been submitted for the purpose of the reserve matters application, and details of construction will be subject to a further review as part of the Section 38 technical approval process.

In view of the above, Shropshire Council as Highway Authority raises no objection to granting of consent.

**4.1.7 WSP on behalf of Shropshire Council Drainage:** (4 Dec 2018)

1. The amended layout is acceptable in principle.
2. Drainage details as set out in our comments dated 7th September 2018 should be submitted for approval.

(7 Sept 2018): Confirms that the surface water drainage proposals are acceptable in principle and provides further advice on the detailed drainage design and that these details in addition to a proposed maintenance regime including details of who will take responsibility should be submitted for approval.

**4.1.8 SC Learning and Skills:** (7 Sept 2018) As previously reported on 04 Oct 2016 Shropshire Council Learning and Skills reports that this development along with others in the West of Shrewsbury will cause future capacity pressures for the surrounding primary and secondary schools. It is therefore essential that the developers of this and any new housing in this area contribute towards the consequential cost of any additional places/facilities considered necessary at those schools. Based on the scale of the proposed development it is recommended that capacity pressures from this development are addressed by way a Section 106 agreement.**6.1.9 SC Affordable Housing:** As an open market housing proposal, the Core Strategy requires the development to contribute towards the provision of affordable housing. The detail of this requirement is contained in Core Strategy Policy CS11 together with Chapter 4 of the Council's adopted Supplementary Planning Document on the Type and Affordability of Housing.

The affordable housing contribution rate is 20% for this area. As such a proposal for 218 new open market dwellings would be liable to make a contribution equivalent to 43 affordable units on site and a financial contribution. The assumed tenure split of the affordable homes would be 30 for affordable rent and 13 for low cost home ownership and these would be transferred to a housing association for allocation from the housing waiting list in accordance with the Council's prevailing Allocation Policy and Scheme. It is suggested that there needs to be a mix of affordable housing tenures on the separate parcel of land and that these should not be solely rented tenure.

There is a need for all property types in this area so a mix of 1,2,3 and 4



bedroomed properties is welcomed, however all the units are slightly smaller than we would expect and they may need to be re designated for e.g. a 3 bed 4 person rather than a 3 bed 5 person.

There will be an expectation for a Local Letting Plan to be submitted in accordance with the S106 Agreement.

## 4.2 - Public Comments

4.2.1 **Shrewsbury Town Council:** No comments received.

4.2.2 **Sustainable Transport Shropshire:** (5 Oct 2018) In our comments on this proposal at the outline stage in 2016, we listed a number of conditions, which if adopted would bring the proposals nearer to conformity with planning policies. A few of the measures suggested have been adopted -

- for people walking, a signalled crossing is proposed - not surprising given the number of new residents who will be attending nearby schools;

- the long straight roads now incorporate gentle curves, which may help reduce car speeds - particularly if combined with speed limiting tables.

It's not clear whether any degree of segregation of transport modes is proposed.

We also want to see pedestrian/cycle entrances to the site from Barracks Lane, for instance, at the NE corner and at the centre of the boundary. It's not clear whether these are proposed. Permeability is important, particularly where the town centre is close, and a wide range of destinations are desired.

This seems well short of the standard set by legislation; being amateurs of planning, we don't fully understand how policies once made, can be ignored.

4.2.3 **Shrewsbury Civic Society:** (5 Oct 2018) While still supporting the development of this land for housing, considers there are several changes to the plans that are needed to improve the quality of this estate.

Building on our earlier comments, we have some general views:

The degree of consultation with the public has not been effective enough, nor answered some of the genuine concerns. For example, there is too little acknowledgment of the site's heritage and the interests of its past users. The Conservation Officer's comments should be taken into account.

The new NPPF requires closer collaboration with local residents and this would imply continued discourse when designing the more detailed aspects of the estate.

The changes needed include:

- the retention of the line of trees to the Northern boundary,
- an improvement in the travel/access planning as per sustainable transport,
- greater recognition of the heritage asset value of the site for ex-soldiers and
- improvements in the quality of building design.

The current proposals hardly meet the NPPF's three requirements for sustainable

dwellings. While varied with several different designs, the overall look of this built environment will be not be distinctive or individual. There are few features to promote healthy living, economical energy use or a sense of community cohesion. Shrewsbury would like to see a higher quality of design.

More details of this development are still needed, for example, the details of the re-development of the Keep, that is such a sensitive building.

#### 4.2.4 Summary of comments received to the plan as first submitted for 218 units and to the amended layout for 216 units (36 Objections and 2 representations):

- ☐ The proposed boundary measures should provide a safe and secure perimeter for both existing and new residents.
- ☐ Concerned that the one metre high estate railings planned for the north west section will not act as a sufficient deterrent in preventing pedestrians from creating a short-cut, as horizontal railings would make them easy to climb over. This low fence would promote criminal activity and present a security risk for the garages on Barracks Lane.
- ☐ There will be a reduction in security and privacy for existing properties at The Mount end of Richmond Drive and also the residents in Richmond Drive.
- ☐ There are no plans to replace the chain link fence at the rear of the properties on Richmond Drive, so this also raises privacy issues for residents. The rear of the properties and back gardens will be left exposed.
- ☐ The existing high metal link fence along the west boundary and the first part of the north boundary should be left in place and a 1.8 metre high wooden fence erected to maintain security and privacy.
- ☐ The plans do not appear to adequately define the treatment to the boundary and retaining wall on the northern site boundary.
- ☐ The houses in the south west corner are positioned too close to existing houses in Richmond Drive and as they will be built on higher ground will result in overlooking and loss of privacy and affect the outlook from existing properties.
- ☐ The proximity of the houses will be intimidating and result in a loss of light.
- ☐ The existing houses are 6 metres from the boundary and this 'buffer' should be retained.
- ☐ The change in the re-configuration of the roof of plot 197 is welcomed but the houses are still too close to the boundary and will appear imposing and a buffer zone should be retained.
- ☐ The position of the fence in the south west corner appears to indicate that up

to 2 metres of the rear gardens will be taken by the development.

- ② The proposed fence along this western boundary should be higher.
- ② The proposed housing in this south west corner shouldn't all be affordable rented but should be a mix of rented and owned.
- ② Locating affordable housing all in one location has the potential to cause a crime hotspot and affect the value of existing properties.
- ② The new houses are too close to and will overlook properties in Copthorne Road.
- ② The development doesn't meet the objectives of paragraphs 91, 104 and 110 to achieve healthy, inclusive and safe places, to promote opportunities for walking, cycling and public transport and to give priority to pedestrian and cycle movements.
- ② The plans show no real consideration of how people can move through, around and to/from the development by foot and bike with the inevitable result that there will be more parking problems, more congestion and less active transport.
- ② Fails to understand why access for emergency vehicles is necessary on Barracks Lane and that the main entrance on Copthorne Road should be the access for emergency vehicles.
- ② There should be no access gates in the boundary fence along Barracks Lane.
- ② The pedestrian access onto Barracks Lane seems dangerous.
- ② The increase in houses will result in additional traffic resulting in congestion, noise and pollution and affecting residents in Copthorne Road and will make the road more unsafe.
- ② How will Copthorne Road accommodate more parked cars, a busy bus stop and additional vehicles accessing and exiting the site.
- ② Traffic calming measures are required.
- ② Will there be sufficient parking for the new residents and could additional parking be provided for existing residents of Copthorne.
- ② Existing residents will be subjected to a few years of heavy lorries and demolition and building work but what can be done to help mitigate the impact on the living conditions of those nearby.
- ② Objects to the proposed removal of trees along the northern boundary along Barracks Lane which will change the character of the area.

- ② The developer was advised that, "any scheme should include additional planting to that already shown", and that recommendations were made for "the retention of all existing trees, (including those along the Northern boundary), unless there is a satisfactory justification for their removal". There is no justification.
- ② An alternative approach to drainage and raising land levels is required so that there would be no requirement for trees to be felled and retaining walls constructed.
- ② The amended plans show that at least two of these substantial trees are still earmarked for felling including a Silver birch to make space for a garage for plot 124.
- ② The proposed new fence posts would encroach into the root protection area of trees to be retained.
- ② The proposed trees to be planted in the rear gardens is not a sufficient or a credibly sustainable alternative to the trees to be removed. As these trees grow within the confines of the gardens, it's quite reasonable to predict they will become problematic for the householders and it is likely many of these new trees would be removed.
- ② The existing and proposed trees should not be in the gardens but outside and the land and trees maintained by the Council.
- ② It is a shame that the majority of the existing traditional buildings are to be demolished and the heritage of the Barracks lost.
- ② Most of the houses have not taken any design cues from the surrounding area or properties. The house types are standard out of town housing estate houses and seem to have been lifted from the Bellway Homes catalogue of standard housing.
- ② The design of the new properties does not take into account that the site is adjacent to The Mount conservation area and listed buildings.
- ② The outlook from the westerly entrance to 'Cadogan House' (a grade 2 listed property) while not overly attractive, does create a sense of space which befits a house of this size. The close proximity of Plots 81 / 82 / 83 and 218 will minimise the open nature of this entrance and detract from the grandeur of the house.
- ② Plot 83 extends into Barracks Lane beyond the current perimeter of the site and will restrict vehicles ability to safely manoeuvre in and out of the property and for cars to pass safely along Barracks Lane.
- ② The development appears cramped and the gardens too small.

- ② The choice of materials does not reflect the building material of the surrounding area and would expect to see a smooth red brick with either a traditional plain tile or traditional slate.
- ② Questions whether the developers will achieve sustainable design.
- ② Contributions for additional classrooms/facilities should be made due to the potential additional pupils requiring space at the already oversubscribed local schools.
- ② The doctor's surgeries and hospitals are full to capacity and no provision is being made.
- ② The proposal does not include sports and leisure facilities or a swimming pool.

4.2.5 A petition has also been received (signed by 17 residents from 9 households in Richmond Drive) concerned that the elevation of the new builds in the south west corner will result in a loss of privacy and that the removal of the chain link fence could impact on established trees and hedges and impact on security.

## 5.0 THE MAIN ISSUES

5.1 The principle of developing this site was established at the outline stage when it was determined that '*Residential development of this site is acceptable in principle being located in a sustainable location within the urban development boundary for Shrewsbury and would make efficient and effective use of a brownfield site*'. Outline planning permission (16/04228/OUT) was granted for the following description of development:

*Outline application (including access) for residential development and associated open space for up to 228 dwellings (C3 use) (including up to 45 apartments for retirement living and the conversion of the Armoury (the 'Keep') to provide up to 9 residential apartments) with landscaping, layout, scale and appearance reserved for later approval.*

5.2 As layout and scale of development was not included at the outline stage the type and number of dwellings was not approved and the following condition was imposed to make this clear:

*This permission does not purport to grant consent for the number of dwellings (houses and apartments) shown on the deposited Illustrative masterplan reference 16287 - 003 REVPO or indicated in the description of development as details of the number of dwellings and layout, scale and appearance of the buildings are reserved for later approval.*

*Reason: To enable the Local Planning Authority to consider the number of units when the layout, scale and appearance of the buildings and the landscaping of the site are submitted at the Reserved matters stage as it is considered that this additional information is required to determine whether the site could satisfactorily*

*accommodate 228 dwellings.*

5.3 It was established at the outline stage that all the existing buildings could be demolished under permitted development as the required application for prior approval for demolition of all the buildings (excluding the Keep) had already been submitted and approved. The proposed retention of 'The Keep' in addition to the majority of the boundary enclosures will serve as a reminder to the previous use of this site, and combined with the installation of an information board will ensure that recognition of the history and importance of the site is secured for future generations.

5.3 The main issues to consider at this outline stage are:

- ☒ Layout, scale and appearance
- ☒ Landscaping, trees, open space (Condition 5, 11, 12 and 18)
- ☒ Impact on residential amenity
- ☒ Access, parking and highway implications (Condition 6, 7, 8 and 9)
- ☒ Drainage (Condition 10)
- ☒ Ecology (13, 14, 15, 16, and 17)

## 6.0 OFFICER APPRAISAL

### 6.1 Layout, scale and appearance

6.1.1 SAMDev Policy MD2 (Sustainable Design) and Core Strategy Policy CS6 (Sustainable Design and Development Principles) requires development to protect and conserve the built environment and be appropriate in scale, density, pattern and design taking into account the local context and character and should also safeguard residential and local amenity. MD13 and CS17 seek to ensure that development protects and enhances the local character of the built and historic environment.

6.1.2 The north part of the site is adjacent to Barracks Lane which is on the edge of a Conservation area and the north east corner is adjacent to a listed building (Cadogan House). The proposal has the potential to impact on these designated heritage assets. Special regard needs to be given to the desirability of preserving the setting of listed buildings and preserving or enhancing the character and appearance of the Conservation area as required by section 66 and 72 of the Planning (Listed Buildings and Conservation Areas) Act 1990.

6.1.3 The Civic Society and a few local residents have commented that the proposed design of the dwellings and the proposed materials are not in keeping with the character and appearance of dwellings in the locality and that the design and layout does not represent sustainable development.

6.1.4 The houses in the locality include a wide range of scale, design and period of buildings and display a wide palette of materials. A variety of scale and design of dwellings is proposed using a mix of materials (both render and brick) and a condition can be imposed requiring full details of the materials to be submitted for approval for the properties that will face Copthorne Road including bricks, tiles,

render, joinery and rainwater goods. The site is sustainably located and the houses will also have to be sustainably constructed meeting the current Building Regulation standards as a minimum

- 6.1.5 The layout indicates a mix of detached, semi-detached and terraced properties including a mix of 1, 2, 3 and 4 bedrooms homes, both open market and affordable. 15 of the 42 affordable houses are proposed to be located in the south west corner of the site, 13 to the north of 'The Keep' and 14 in the south east corner of the site. This distribution of affordable homes in three different parts of the site is acceptable. The housing team have commented that the tenure split of the affordable homes should be 30 for affordable rent and 13 for low cost home ownership and that there should be a mix in the tenures within the separate parcel of land to the south west. Officers will update members regarding this at committee.
- 6.1.6 The development site is fairly self-contained with the main public views of the development being a short section that fronts Copthorne Road to the south, and the north of the site that backs on to Barracks Lane. As the site has always been closed off from Barracks Lane in order to preserve this character it is considered appropriate for the development to back onto the lane and not have houses and accesses fronting on to the lane and that the existing wall should be retained as far as possible.
- 6.1.7 This is considered acceptable from both a highway and visual impact perspective. The scale of the buildings to the north of the site and the plot widths is in keeping with the existing development that also backs on to Barracks Lane. It is considered that the development now proposed here with longer back gardens, and the majority of existing trees retained, will preserve the character and appearance of the locality and adjacent conservation area.
- 6.1.8 In addition to retaining the existing wall it is proposed that this is extended in an easterly direction continuing around the north east corner replacing the unsightly security fencing and the wide-open gap that currently gives views of MOD buildings of no architectural merit. It is considered that the closure of this gap with a wall rather than boarded fencing will both improve the character and appearance of the locality on the edge of the conservation area and enhance the setting of the listed Cadogan House.
- 6.1.9 Turning to the southern edge of the development site it was considered essential that in addition to retaining 'The Keep' the existing boundary wall to the front of this building should also be retained at full height. The whole of the wall along the front of Copthorne Road up to the rear of the pair of houses proposed at the entrance is to be retained at full height and the modern three storey building adjacent to 'The Keep' will be demolished. It is considered that the removal of this building and the retention of 'The Keep' behind the existing boundary wall will reinforce the significance and prominence of 'The keep' and better preserve the setting of what is considered to be a non-designated heritage asset.
- 6.1.10 Although the entrance gates and piers are proposed to be removed the entrance as it is today is not the original and there is no objection to the loss of this modern

section of walling and entrance piers.

- 6.1.11 On either side of the new entrance a pair of semi-detached three storey 'Elton' House types are proposed. The design of these four houses has been revised to include a projecting central gabled bay to provide articulation and relief to this aspect of the building so that it better relates to the scale and design of the adjacent houses proposed to front Copthorne Road to the east of the site entrance some of which have front facing gables.
- 6.1.12 These houses include a terrace of four two bedroom 'Almond' house types, a terrace of three (one Almond house type and two 'Cherry' house types) and two semi-detached 'Cherry' house types. It is considered that the scale and design of this row of houses is in keeping with the scale of housing opposite the site including the plot widths of these existing houses. The proposed 'Elton' house types will mark the entrance to the site and are considered to be of an appropriate scale and design and will provide a suitable transition from the prominent 'Keep' building to the west and the two storey houses that will face Copthorne Road.
- 6.1.13 These houses proposed to front Copthorne Road are indicated to be set back from the front boundary with a small front garden behind a low brick wall with brick piers and wrought iron garden gates. This is also considered acceptable and in keeping with the character of houses along Copthorne Road that in the main have short front gardens behind low front boundary walls that front the pavement.
- 6.1.14 The proposal also includes conversion of 'The Keep' to provide nine two-bedroom flats. The proposal requires minimal alterations to the exterior of the building (other than the removal of later additions at the rear) and a condition can be imposed requiring details of any new windows and rainwater goods to be submitted for approval. The retention and conversion of the keep will ensure the long-term preservation of this important building that will serve as a reminder to the previous use and history of the site.

## 6.2 **Landscaping, trees, open space (Condition 5, 11, 12 and 18)**

- 6.2.1 Condition 5 required that the layout should include at least 0.75 ha of public open space (POS) on site and it was determined that the full amount of POS provision in accordance with MD2 was not required due to the proximity of the site to existing large areas of POS in the locality. In lieu of full on site POS provision the S106 includes a financial contribution of £115,000 for improvement to Frankwell County Ground and £30,498 to be allocated between Silks Meadow Recreation Facility (£10,000) and Shorncliffe Drive Recreation Facility (£20,498).
- 6.2.2 The layout includes two areas of POS; an informal area to the west of the site where existing trees are to be retained, and recreational open space in the centre of the site roughly in the same position as the northern part of the former parade ground. Details have been submitted of an illustrated interpretation board (providing a brief history of the site) to be located at the edge of the recreation ground (as required by condition 18) and this is acceptable and welcomed. The layout also includes details of an equipped play area to be located within this central area.



- 6.2.3 Conditions 11 and 12 required details of an Arboricultural Impact Assessment, Arboricultural Method Statement and Tree Protection Plan, and a detailed soft and hard landscaping plan to be submitted. The initial submission was found to be unacceptable due to the proposed removal of trees along the northern boundary, the proximity of houses to existing trees to be retained and the lack of space in the proposed gardens where new trees were proposed to be planted.
- 6.2.4 Following discussions with the applicant and a meeting on site to review the existing trees, an amended layout and a landscaping proposal has been submitted. The tree officer is now more than satisfied with the proposal as revised with the majority of the trees being retained and only a few poorer quality trees proposed for removal which will be more than compensated for by the proposed new tree planting. A condition is recommended to ensure that the approved tree protection measures outlined in the Arboricultural Method Statement and Tree Protection Plan are implemented.
- 6.2.5 The rear gardens backing onto Barracks Lane have been extended and the houses in the south west corner re-arranged so that the existing trees and the proposed new trees are now sustainably located. Some residents have questioned whether the trees would be offered more protection if situated outside of private gardens. It is not considered essential to do this in order to secure their protection and a TPO is proposed to be placed on all existing trees proposed to be retained. A landscape implementation condition is also recommended to ensure that all trees planted are maintained and have to be replaced for at least 5 years, and thereafter a TPO could also be placed on these trees.
- 6.2.6 A Boundary treatment plan has been submitted in addition to detailed landscaping proposals and this has clarified the proposed boundary fencing that has been queried by some residents. The majority of the security chain link fencing that surrounds the site is proposed to be removed and there has been some objection to this on grounds of security and privacy. However, it is not considered necessary or appropriate to retain this fencing around the perimeter of the majority of the site and the 1.8m high boarded fencing proposed is more than adequate as a boundary fence between residential properties.
- 6.2.7 In the South West corner of the site (where some residents of 9 – 25 Richmond Drive were concerned that the fence would encroach into their garden) an amended plan has been received that indicates a 1.8 metre close boarded fence to be erected on the development side of the existing hedge which is proposed to be retained and will therefore become the responsibility of the residents of 9 to 25 to maintain. This boundary treatment is considered more than acceptable between residential gardens.
- 6.2.8 The existing chain link fence along the boundary to the west of the proposed POS (to the rear of 35 – 59 Richmond Drive) is proposed to be retained. This is considered acceptable in terms of securing and separating their rear gardens from the POS. Privacy will be retained by the proposed planting indicated on the soft landscaping proposal in addition to the retention of trees. Residents can erect additional fencing or plant hedging plants on their side of the secure boundary

fence to be retained if they consider it necessary.

- 6.2.9 Some residents have questioned the fencing proposed to the north of the POS and that the high chain link fence should also be retained in this location to maintain security and that there should be no access from the development site (vehicular or pedestrian) on to Barracks Lane. It is not considered necessary (or visually desirable) to retain the high security fencing along this boundary. The POS will be enclosed on its northern and eastern boundary by 1m high metal estate railings between oak posts in addition to a hedgerow along its northern boundary and this is considered acceptable and appropriate.
- 6.2.10 The existing wall in the south west corner of the site (to the rear of 98 to 114 Copthorne Road) is to be retained and made good and where the wall is below 1.8m in height it will be topped with close boarded fence up to 1.8m high. The chain link fence along the eastern boundary will be removed and replaced with new 1.8m close boarded fencing. The boundary treatment for the north west corner of the site, the boundary with Barracks Lane to the north and facing Copthorne Road to the south has already been considered in paragraphs 6.1.6 – 6.1.13 above.
- 6.2.11 Soft landscaping proposals have been submitted and in addition to tree planting along the northern boundary trees are proposed for the recreation area and also as an avenue either side of the main entrance road. The tree and landscape officer fully supports the proposed landscaping scheme and the proposed retention of the majority of the existing trees.

### 6.3 **Impact on residential amenity**

- 6.3.1 Policy CS6 and MD2 seek to ensure that development contributes to the health and wellbeing of communities, including safeguarding residential and local amenity. Paragraph 127 of the NPPF states that planning policies and decisions should ensure that development *'creates places that are safe, inclusive and accessible and which promote health and well-being, with a high standard of amenity for existing and future users'*.
- 6.3.2 Consideration of the concerns of existing residents about boundary treatments and security have been addressed in the paragraphs above. It is considered that the proposed boundary treatments are appropriate and acceptable from both a visual amenity perspective and also in terms of providing security and privacy.
- 6.3.3 The proposed development will have little impact on the residential amenity of the majority of existing residents due to the proposed built development being sufficiently distant from existing homes with a separation distance of well in excess of 20 metres in the majority of cases. The part of the proposal that has the greatest potential to impact on residential amenity is in the south west corner of the site where the existing buildings are to be demolished and replaced with dwellings moved closer to the boundary and that will be situated on higher ground.
- 6.3.4 The terrace of three on plots 197 – 199 and the terrace of four on plots 193- 196 will be closer to the boundary of 13 – 23 Richmond Drive than the existing buildings

to be demolished. There is already a difference in ground levels as the rear gardens of these existing properties slope up to the boundary, and the ground level is proposed to be raised on the development side by up to 600mm due to the proposed drainage solution and the proposed clean cover of soil required.

- 6.3.5 In order to safeguard outlook and prevent excessive overshadowing it is usually recommended that the minimum distance between windowed rear elevations of existing houses to opposing blank side walls should be 13 – 14 metres for two-storey buildings and 15 -16 metres for three-storey. Although the proposed buildings will be closer than the existing and will be sited on raised ground and therefore have the appearance of three-storey buildings there will still be a distance of over 18 metres between the rear elevation of the existing houses and the side gable end elevation of the proposed houses. It is acknowledged that the existing residents would prefer it if the buildings weren't sited quite as close to the boundary but due to the distance between it is considered that the buildings would not appear unacceptably overbearing or obtrusive and would not result in a loss of light or significantly overshadow the existing properties.
- 6.3.6 The roof design of the end dwellings has been changed to a hipped roof so that the roof will slope up away from the neighbour and this will help minimise any adverse visual impact. There is also a large hedge proposed to be retained that will partly screen views of the proposed houses. There will be no windows in the side end elevations of the new dwellings so the proposal will not result in overlooking or a loss of privacy. A condition can be imposed to ensure that no additional windows can be added. It is therefore considered that the proposed buildings in the south west corner of the site would not have an unacceptable significant adverse impact on the residential amenity of residents in Richmond Drive.
- 6.4 **Access, parking and highway implications (Condition 6, 7, 8 and 9)**
- 6.4.1 Condition 6 required that no vehicular access to the development site either for construction purposes or for any of the completed residential units shall take place from The Mount or Barracks Lane until the improvement works to the junction of Barracks Lane and The Mount have been substantially completed. As no part of the development site is to have vehicular access onto Barracks Lane (other than the emergency access) this condition is no longer relevant.
- 6.4.2 Condition 7 required details of further pedestrian/cycle links to Barracks Lane in addition to the controlled emergency link. Although the provision of a cycle and pedestrian link at both ends of the development site on to Barracks Lane would have helped promote cycling and walking in the area it has been demonstrated that is not possible to provide additional pedestrian links, and there has also been public opposition to this from residents in Richmond Drive and the Mount.
- 6.4.3 The proposed emergency access onto Barracks Lane provides an alternative pedestrian and cycle route to the main access onto Copthorne Road. The proximity to the town centre and the opening-up of the site by the creation of this single access onto Barracks lane will improve permeability between Copthorne Road and the Mount for pedestrians and cyclists (but not vehicles) and will hopefully help promote sustainable modes of transport for both the new residents and the existing

residents in the locality. Condition 24 attached to the outline consent is still relevant and requires the submission of a travel plan prior to the first occupation of any part of the development.

- 6.4.4 Condition 8 required that there shall be no permanent through route for vehicles and that details of the control of vehicular traffic via the emergency access be submitted. Shropshire Council Highways officers have reviewed the details submitted and confirmed that they are acceptable.
- 6.4.5 Condition 9 required details of the layout, design and construction of the access and roadways be submitted for approval. Shropshire Council Highways officers have confirmed that the layout is acceptable from a highway perspective and that in terms of construction details sufficient details have been submitted for the purpose of the reserved matters application and that full details of construction will be subject to a further review as part of the Section 38 technical approval process.
- 6.4.6 Although some residents in Copthorne Road have raised issues regarding highway safety and impact on street parking in the locality it is considered that the proposal would not have a significant impact on highway and pedestrian safety and that adequate parking will be provided within the site for the proposed dwellings. A construction management plan is required to be submitted by condition 22 attached to the outline consent which will ensure the control of construction and delivery vehicles during the construction phase.
- 6.4.7 The S106 required the submission of a sum of £10,000 be submitted to enable the Council to undertake a feasibility study into the requirement for and location of a controlled pedestrian crossing. This financial contribution has been received and if a location is identified the developers are then required to pay an additional £85,000 for the construction of the crossing and £15,000 for its long-term maintenance.

## 6.5 **Drainage (Condition 10)**

- 6.5.1 Condition 10 required the submission of drainage details. WSP have confirmed that the surface water drainage proposals are acceptable in principle and that the amended layout is acceptable but that further details are required to be submitted. A condition is recommended to ensure that this detailed information is submitted for approval and should include a proposed maintenance regime including details of who will take responsibility.

## 6.6 **Ecology (13, 14, 15, 16, and 17)**

- 6.6.1 Conditions 13 – 17 inclusive required the submission of a habitat management plan, phase 1 and where appropriate phase 2 ecological surveys and a mitigation and enhancement strategy, details of bat and bird boxes and a lighting plan.
- 6.6.2 These details have been received and Shropshire Council Ecology has confirmed that the details submitted are acceptable. The residential gardens and the proposed landscaping of the open space and additional tree planting will provide enhancement for biodiversity compared to its previous use. The proposed

landscaping and provision of bat and bird boxes will provide ecological enhancement of the site and maintain and enhance ecological corridors.

## 6.7 Other matters

6.7.1 Residents have also raised concern regarding impact on infrastructure including school places and this was considered at the outline stage. For the proposed development of 216 houses the s106 requires a contribution of over £501,200 for primary school provision within the catchment area of the site in the South and West of Shrewsbury and/or towards primary education places/facilities at Woodfield/St Georges primary school and £521,000 towards secondary education places/facilities at Meole Brace School and/or Priory School.

## 7.0 CONCLUSION

7.1 The principle of development has been established by the Outline permission. It is considered that the proposed layout and landscaping of the site, the scale and appearance of the new dwellings and the conversion of 'The Keep' is acceptable in scale, density, pattern and design and would not adversely impact on the character and appearance of the locality or residential amenity. Sufficient open space is being provided in accordance with the outline consent and the proposal includes satisfactory ecological enhancement, appropriate measures for the protection of the significant trees to be retained, and the proposed landscaping and tree protection plans are considered acceptable. It is therefore considered that the proposal accords with Shropshire LDF policies CS6, CS17, MD2, MD12 and MD13 and the aims and provisions of the NPPF.

## 8.0 Risk Assessment and Opportunities Appraisal

### 8.1 Risk Management

There are two principal risks associated with this recommendation as follows:

- ☐ As with any planning decision the applicant has a right of appeal if they disagree with the decision and/or the imposition of conditions. Costs can be awarded irrespective of the mechanism for hearing the appeal, i.e. written representations, hearing or inquiry.
- ☐ The decision may be challenged by way of a Judicial Review by a third party. The courts become involved when there is a misinterpretation or misapplication of policy or some breach of the rules of procedure or the principles of natural justice. However their role is to review the way the authorities reach decisions, rather than to make a decision on the planning issues themselves, although they will interfere where the decision is so unreasonable as to be irrational or perverse. Therefore they are concerned with the legality of the decision, not its planning merits. A challenge by way of Judicial Review must be made a) promptly and b) in any event not later than three months after the grounds to make the claim first arose.

Both of these risks need to be balanced against the risk of not proceeding to determine the application. In this scenario there is also a right of appeal against

non-determination for application for which costs can also be awarded.

## 8.2 Human Rights

Article 8 gives the right to respect for private and family life and First Protocol Article 1 allows for the peaceful enjoyment of possessions. These have to be balanced against the rights and freedoms of others and the orderly development of the County in the interests of the Community.

First Protocol Article 1 requires that the desires of landowners must be balanced against the impact on residents.

This legislation has been taken into account in arriving at the above recommendation.

## 8.3 Equalities

The concern of planning law is to regulate the use of land in the interests of the public at large, rather than those of any particular group. Equality will be one of a number of 'relevant considerations' that need to be weighed in Planning Committee members' minds under section 70(2) of the Town and Country Planning Act 1990.

## 9.0 Financial Implications

There are likely financial implications if the decision and / or imposition of conditions is challenged by a planning appeal or judicial review. The costs of defending any decision will be met by the authority and will vary dependent on the scale and nature of the proposal. Local financial considerations are capable of being taken into account when determining this planning application – insofar as they are material to the application. The weight given to this issue is a matter for the decision maker.

## 10. Background

### **Relevant Planning Policies**

Central Government Guidance: NPPF

Core Strategy and Saved Policies: CS6, CS17, MD2, MD12 and MD13

### **RELEVANT PLANNING HISTORY:**

16/03117/DEM Application for prior notification under Schedule 2 Part 11 of the Town & Country Planning (General Permitted Development) Order 2015 for the demolition of 39 No. buildings (including a range of military buildings (e.g. stores/offices/etc), Single Living Accommodation (SLA) buildings and sports and welfare buildings) and associated structures (excluding boundary walls and fences and 'The Keep') (amended description) PNR 9th August 2016

16/04228/OUT Outline application (including access) for residential development and associated open space for up to 228 dwellings (C3 use) (including up to 45 apartments for retirement living and the conversion of the Armoury (the 'Keep') to provide up to 9 residential apartments) with landscaping, layout, scale and appearance reserved for later approval (amended description) GRANT 21st December 2017

## 11. Additional Information

List of Background Papers : 18/03637/REM - Application documents associated with this application can be viewed on the Shropshire Council Planning Webpages
Cabinet Member (Portfolio Holder): Cllr R. Macey
Local Member: Cllr Julian Dean
Appendices APPENDIX 1 - Conditions

## APPENDIX 1

### Conditions

#### STANDARD CONDITION(S)

1. The development shall be carried out strictly in accordance with the approved plans and drawings

Reason: For the avoidance of doubt and to ensure that the development is carried out in accordance with the approved plans and details.

2. The submitted surface water drainage proposals are acceptable in principle but prior to above ground works commencing full details of a scheme of foul and surface water drainage to include Information on the proposed maintenance regime for any sustainable drainage system proposed, including details of who will take responsibility, shall be submitted to and approved in writing by the Local Planning Authority. The approved scheme shall be fully implemented before the development is first occupied.

Reason: To ensure satisfactory drainage of the site and to avoid flooding, and to ensure that the drainage system remains in good working order throughout its lifetime.

### **CONDITION(S) THAT REQUIRE APPROVAL DURING THE CONSTRUCTION/PRIOR TO THE OCCUPATION OF THE DEVELOPMENT**

3. In this condition 'retained tree' means an existing tree, large shrub or hedge which is to be retained in accordance with the approved plans and particulars; or any tree, shrub or hedge plant planted as a replacement for any 'retained tree'. Paragraph a) shall have effect until expiration of 5 years from the date of completion of the development.

a) No existing tree shall be wilfully damaged or destroyed, uprooted, felled, lopped, topped or cut back in any way other than in accordance with the approved plans and particulars, without the prior written approval of the Local Planning Authority. Any approved tree surgery works shall be carried out in accordance with British Standard BS 3998: 2010 - Tree Work, or its current equivalent.

b) No works associated with the development permitted will commence and no equipment, machinery or materials will be brought onto the site for the purposes of said development until all tree protection measures specified in the submitted Arboricultural Method Statement dated November 2018 and the Tree Protection Plans reference 8382-T-05, - 06, - 07, - 08 and - 09 have been fully implemented on site. Prior to commencement of any development works (other than demolition and site clearance) the Local Planning Authority (LPA) shall be notified when the tree protection measures have been implemented and the LPA have given written confirmation that they are acceptable. All approved tree protection measures must be maintained throughout the development until all equipment, machinery and surplus materials have been removed from the site. Nothing shall be stored or placed in any area fenced in accordance with this condition and the ground levels within those areas shall not be altered nor any excavation be made, without the prior written consent of the Local Planning Authority. A responsible person will be appointed for day to day supervision of the site and to ensure that the tree protection measures are fully complied with. The Local Planning Authority will be informed of the identity of said person.

c) All services will be routed outside the Root Protection Areas indicated on the Tree Protection Plans or, where this is not possible, a detailed method statement and task specific tree protection plan will be submitted and approved in writing by the Local Planning Authority prior to any work commencing.

Reason: To safeguard the amenities of the local area and to protect the natural features that contribute towards this and that are important to the appearance of the development.

4. All hard and soft landscape works shall be carried out in accordance with the approved plans and must be fully completed prior to occupation of no more than 80% of the dwellings



hereby approved (or in accordance with a timetable to be submitted to and approved in writing by the LPA). Any trees or plants that, within a period of five years after planting, are removed, die or become, in the opinion of the Local Planning Authority, seriously damaged or defective, shall be replaced with others of species, size and number as originally approved, by the end of the first available planting season.

Reason: To ensure the provision, establishment and maintenance of a reasonable standard of landscape in accordance with the approved designs.

5. Prior to the commencement of the relevant work relating to conversion of 'The Keep' details of any new external windows and doors and any other external joinery and details of any new external services including rainwater goods, soil and vent pipes, waste pipes, boiler flues and ventilation terminals, meter boxes, exterior cabling and electrical fittings shall be submitted to and approved in writing by the Local Planning Authority. The development shall be carried out in complete accordance with the approved details.

Reason: To safeguard the architectural and historic interest and character of the building.

6. The materials for the new build properties shall be as indicated on the approved materials plan apart from the houses that front Copthorne Road. Prior to the above ground works commencing on the houses that front Copthorne Road samples and/or details of the roofing materials and the materials to be used in the construction of the external walls and details of external windows and doors and any other external joinery and details of any external services including rainwater goods, soil and vent pipes, waste pipes, boiler flues and ventilation terminals and meter boxes shall be submitted to and approved in writing by the Local Planning Authority. The development shall be carried out in complete accordance with the approved details.

Reason: To ensure that the external appearance of the development is satisfactory.

#### **CONDITION(S) THAT ARE RELEVANT FOR THE LIFETIME OF THE DEVELOPMENT**

7. No windows or other openings shall be formed in the west facing side elevation of the houses on plot 196 and 197 in the south west corner of the site.

Reason: To preserve the amenity and privacy of adjoining properties.